

City of Jersey City Historic Preservation Commission



Rules & Regulations for Alterations & Additions to Buildings & New Construction in Historic Districts

Adopted by the Historic Preservation Commission

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I. Introduction

These regulations are issued to assist the public in applying to the Jersey City Historic Preservation Commission (HPC) for approval of alterations and additions to buildings and new construction located in the city's four historic districts. These regulations enunciate Commission policy with respect to alterations and additions to buildings and new construction within historic districts and also explain the procedures required to apply for a Certificate of Appropriateness or a Certificate of No Effect.

Jersey City's four historic districts (Hamilton Park, Harsimus Cove, Paulus Hook and Van Vorst Park) are located in the downtown and share a common history. Downtown Jersey City developed around three squares, Paulus Hook (Washington Square), Hamilton and Van Vorst in the mid-19th Century. The earliest of the three areas, that around Paulus Hook, was incorporated in 1820 as Jersey City and reincorporated in 1838. In 1851, the town of Van Vorst, which contained what are presently the Van Vorst Park, Hamilton Park and Harsimus Cove Historic Districts, was incorporated into Jersey City. A street plan for the downtown was formulated in 1804. A grid of urban residential streets, interspersed with city squares or parks and subdivided by commercial thoroughfares, the plan was not completely executed until the end of the Civil War.

The urban character of the four historic districts is largely a result of the predominant building type, the 19th Century row house. It is not so much the individual row houses, as the homogeneous rows of identical, attached row house units that define the architectural character of the historic districts. The first row houses in Jersey City were constructed in the Greek Revival style from the 1830s to the 1850s and are presently most prevalent in the Paulus Hook Historic District. The majority of residential buildings in the four historic districts were constructed from 1850-1870. Most

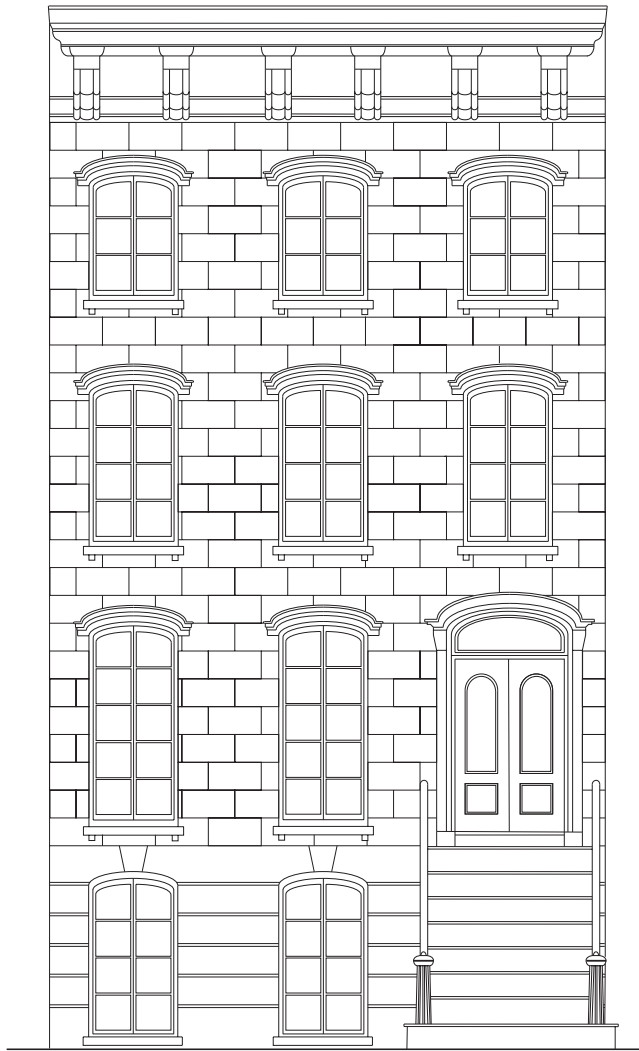
of these are row houses built in the Italianate style which was popular from about 1855-1870.

While the Greek Revival and Italianate styles are quite distinct, the composition of the 19th Century row house façade remained much the same regardless of the style. The houses are usually three-bays wide and two- to three-stories high with basements. The rows are united by a common cornice line. The main entrance to the building is on the parlor floor and is reached by a stoop, which may be a few simple stone steps in a Greek Revival style house, or a grand flight of ten carved brownstone steps with a heavy, ornate cast-iron balustrade in an Italianate style house.

The row house facades in the historic districts are generally red brick with window lintels and sills, cornices and door surrounds of a different material such as wood, metal or stone. The basement is often faced in stone. Much attention is placed on the main entrance, which is located on the side of the façade. Greek Revival style entrance surrounds usually have Doric pilasters with entablatures, while Italianate style entrances often have elaborated hood moldings resting on foliate brackets. Row houses typically have longer windows on the parlor floor. Window shapes and configurations vary according to style. Many row houses have shallow front yards or areaways which are fenced in with the same ironwork which was used for the stoop rail.

Until about the time of the Civil War, commercial buildings were residential structures with ground floor and/or basement shop fronts. These buildings are the same scale and style of the residential row houses and were often the corner buildings in the rows.

After the Civil War, a growing downtown population created the need for larger replacement structures. Interspersed with the row houses are some tenements and small apartment buildings from the late 19th and early 20th centuries which are often similar in materials and details



Italianate Facade

to the later row houses. In addition, institutional and commercial buildings from this period add some variety to the primarily residential historic districts in terms of their larger scale, different materials and often unique high-style designs.

While there are later 20th Century intrusions and alterations in all of the districts, they are a remarkably intact record of 19th Century residential urban architecture in the Northeast. However, many buildings require maintenance and often replacement of severely deteriorated or missing architectural features.

There are also several vacant lots which will undoubtedly be redeveloped in the future. The *Historic Preservation Ordinance* provides standards for new construction in the historic districts. These standards, along with those for signage which are also in the Ordinance, are reproduced in Appendix A and Appendix B.

In making a determination on a proposed alteration, addition or new construction, the HPC evaluates the effect of the proposal on the historic, architectural and aesthetic values and significance of the historic districts. The Commission considers, among other matters, the relationship between the proposed work and the architectural style, materials, colors, textures, scale and design of the building, or in the case of new construction, the surrounding buildings. These regulations are based on the General Standards as stated in Section 12.1 of the *Historic Preservation Ordinance* and listed below, and on all other standards included in the Ordinance.

§ 345-71. Historic Design Standards

A. General Standards

General standards below are considered inclusive and shall be considered in conjunction with the applicable provisions of any subsection of this section.

1. Every reasonable effort shall be made to provide a compatible use for a property that requires minimal alteration of the building structure or site and its environment or to use a property for its originally intended purpose.
2. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations which have no historical basis and which seek to create an earlier appearance shall be discouraged.
4. Changes, which may have taken place in the course of time, are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features or examples of skilled craftsmanship, which characterize a building, structure, or site, shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced wherever possible. In the event that replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features shall be based on accurate duplications of features,

substantiated by historical, physical, or pictorial evidence rather than on conjectural design or the availability of different architectural elements from other buildings or structures.

7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any acquisition, protection, stabilization, preservation, rehabilitation, restoration, or reconstruction project.
9. When the replacements are made, exterior architectural elements, such as but not limited to windows, doors, and siding, shall be replaced with a style and finish of the period of significance of the building. Use of original materials is preferred.

B. Standards for Protection

1. Before applying protective measure, which are generally of a temporary nature and imply future historic preservation work, an analysis of the actual or anticipated threats to the property shall be made.
2. Protection shall safeguard the physical condition or environment of a property or archaeological site from further deterioration or damage caused by weather or other natural, animal or human intrusions.
3. If any historic material or architectural features are removed, they shall be properly recorded and, if possible, stored for future study or use.

C. Standards for Stabilization

1. Stabilization shall reestablish the structural stability of a property through the reinforcement of loadbearing members or by arresting material deterioration leading to structural failure. Stabilization shall also reestablish weather resistant conditions for a property.
2. Stabilization shall be accomplished in such a manner that it detracts as little as possible from the property's appearance. When reinforcement is required to reestablish structural stability, such work shall be concealed wherever possible so as not to intrude upon or detract from the aesthetic and historical quality of the property, except where concealment would result in the alteration or destruction of historically significant material or spaces.

D. Standards for Preservation

1. Preservation shall maintain the existing form, integrity and materials of a building, structure or site. Substantial reconstruction or restoration of lost features generally are not included in a preservation undertaking.
2. Preservation shall include techniques of arresting or retarding the deterioration of a property through a program of ongoing maintenance.

E. Standards for Rehabilitation

1. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historic, architectural or cultural material and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.
2. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

F. Standards for Restoration

1. Every reasonable effort shall be made to use a property for its originally intended purpose or to provide a compatible use that will require minimum alteration to the property and its environment.
2. Reinforcement required for structural stability or the installation of protective or code-required mechanical systems shall be concealed whenever possible so as not to intrude or detract from the property's aesthetic and historical qualities, except where concealment would result in the alteration or destruction of historically significant materials or spaces.
3. When archeological resources must be disturbed by restoration work, recovery of archeological material shall be undertaken in conformance with current professional practices.

G. Standards for Reconstruction

1. Reconstruction of a part or all of a property shall be undertaken only when such work is essential to reproduce a significant missing feature in a historic district or site, and when a contemporary design solution is not acceptable.
2. Reconstruction of all or part of a historic property shall be appropriate when the reconstruction is essential for understanding and interpreting the value of a historic district or when no other building, structure, object or landscape feature with the same associative value has survived and sufficient historical documentation exists to ensure an accurate reproduction of the original.
3. The reproduction of missing elements accomplished with new materials shall duplicate the composition, design, color, texture and other visual qualities of the missing element. Reconstruction of missing architectural features shall be based upon accurate duplication of original features, substantiated by historical, physical or pictorial evidence rather than upon

conjectural designs or the availability of different architectural features from other buildings.

4. Reconstruction of a building or structure on an original site shall be preceded by a thorough archaeological investigation to locate and identify all subsurface features and artifacts.

5. Reconstruction shall include measures to preserve any remaining original fabric, including foundations, subsurface and ancillary elements. The reconstruction of missing elements and features shall be done in such a manner that the essential form and integrity of the original surviving features are unimpaired.

H. Standard for New Construction

Supporting documentation for proposals for new construction must include contextual photographs, a drawing of the streetscape with the new building inserted, a site plan, floor plans and elevations, full or half scale detail drawings of windows, doors, storefronts, signage, ornament, etc. and materials and color samples.

(Please see Appendix B)

I. Relocation of a Landmark or Building, Object or Structure Located in a Historic District

In considering whether to recommend, approve or disapprove an application for a permit to relocate a building, object or structure designated a historic landmark or located in a historic district, the Commission shall be guided by the following considerations:

1. The historic character and aesthetic interest the building, structure or object contributes to its present setting.
2. Whether there are definite plans for the area to be vacated and what the effect of those plans on the character of the surrounding area will be.
3. Whether the building, structure or object can

be moved without significant damage to its physical integrity.

4. Whether the proposed relocation area is compatible with the historical and architectural character of the building, object or structure.

J. Standard for Demolition

1. The following shall be considered in regard to an application to demolish an individual landmark building, structure, site or object or one contained within a historic district:

- a. Its historic, architectural and aesthetic significance.
- b. Its use.
- c. Its importance to the city and the extent to which its historic or architectural value is such that its removal would be detrimental to the public interest.
- d. The extent to which it is of such old, unusual or uncommon design, craftsmanship, texture or material that it could not be reproduced or could be reproduced only with great difficulty.
- e. The probable impact of its removal upon the ambience of the historic district.
- f. The structural soundness and integrity of the building so as to comply with the requirements of the state uniform code.
- g. The effect on the remaining portion of the building, structure, site, object or landscape feature in cases of partial demolition.

2. In the event that the structure is unsafe or unsound so as to impose a danger to health or safety, the power and authority of the City of Jersey City to demolish the structure, as otherwise provided by law, shall not be impaired or altered in any way by the provisions of this chapter. The city shall be exempt from making an application to the Commission but shall notify the Commission prior to the demolition.

3. If an application to demolish is denied, the applicant shall follow the appeal process detailed herein for denial of certificate of appropriateness.

II. DEFINITIONS

A. **Commission:** the Historic Preservation Commission as established by the Jersey City Historic Preservation Ordinance.

B. **Certificate of Appropriateness:** a document attesting that proposed work within a historic district or affecting a landmark building, structure, object, site or landscape feature has been reviewed and deemed appropriate and consistent with the purposes of the Historic Preservation Ordinance by the Jersey City Historic Preservation Commission.

C. **Certificate of No Effect:** a document attesting that proposed work within a historic district or affecting landmark building, structure, object, site or landscape feature has been reviewed by the Historic Preservation Officer and the Director of City Planning and is not detrimental to the historic district or landmark on which the work is to be done or neighboring buildings, structures, objects, sites or landscape features.

D. **Historic architectural features:** 1) architectural features installed or built at the time of construction of the building; 2) architectural features of a type installed or built at the time of construction of similar buildings in similar periods and styles; or 3) architectural features installed or built at the time of major facade alterations 30 or more years ago.

E. **Existing architectural features:** the architectural features existing at the time of designation or architectural features which have been changed subsequent to designation pursuant to a Certificate of Appropriateness/No Effect issued by the Commission.

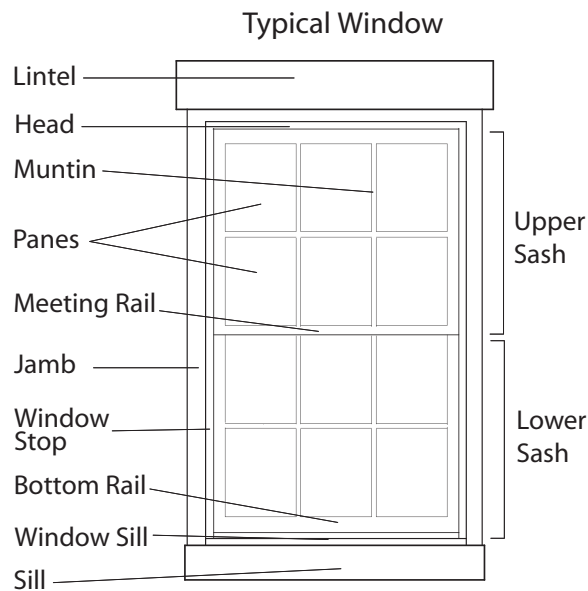
F. **Match:** either an exact or an approximate replication. If not an exact replication, the approximate replication shall be so designed as to achieve a harmonious result which exhibits the color, texture and dimensions of the original features(s).

G. **Ordinary repairs:** replacement or renewal of existing fabric of a landmark building or a structure, site, object or landscape feature, within a historic district or of parts of the service equipment therein, with the same material or equipment parts, that are made in the ordinary course of maintenance and that do not in anyway affect health, fire or structure safety of the “landmark” building, structure, site, object or landscape feature, or do not affect the design or integrity of the historic fabric of the “landmark” building, structure, object, site or landscape feature.

H. **Reconstruction:** the act or process of re-assembling, reproducing or replacing by new construction, the form, detail and appearance of a property and its setting as it appeared at a particular period of time by means of the removal of later work, or by the replacement of missing earlier work, or by reuse of original materials.

I. **Rehabilitation:** the act or process of returning a building, object, site, structure or landscape feature to a state of utility through repair, remodeling, or alteration that makes possible an efficient contemporary use while preserving those portions or features of the building, object, site or structure that are significant to its historical, architectural and cultural values.

J. **Restoration:** the act or process of accurately recovering the form and details of a building, object, site or structure and its setting as it appeared at a particular period of time by means of the removal of later work or by the replacement of missing earlier work.



III. WINDOWS

A. Repair

Deteriorated windows can often be repaired and made sound and fully operational. A Certificate of No Effect is required to undertake ordinary repairs including:

1. Replacing or rebuilding any parts of a window such as the sill and portions of the sash and frames using the same material and with the same configuration, shape and dimensions.
2. Scraping, priming and repainting of window sash and/or frame.
3. Consolidating wood members with cellulose wood fillers or chemical materials.

Changes in shape, size or configuration require a Certificate of Appropriateness.

B. Replacement

If historic windows have deteriorated to a point precluding repair, rehabilitation or restoration, based on documentation submitted by the applicant, or a field inspection by the His-

toric Preservation Officer, replacement windows may be approved under a Certificate of No Effect if they match the historic windows in terms of configurations, operation, details, material and finish. Variations in details will be permitted if such variations do not significantly affect the visual characteristics of the historic window, including the shadow effect of muntins and sash on the glazing. In evaluating "significant" effect, other factors to be considered shall be the age of the building and its architectural quality, as well as the extent of reduction in the total glazed area of the proposed sash compared to the existing sash. For narrow wood windows (less than 15" wide), the reduction shall be limited to ten percent (10%); for wood windows, 15 inches or wider, the reduction shall be limited to six percent (6%); for metal double-hung windows (of any size), the reduction shall be limited to ten percent (10%).

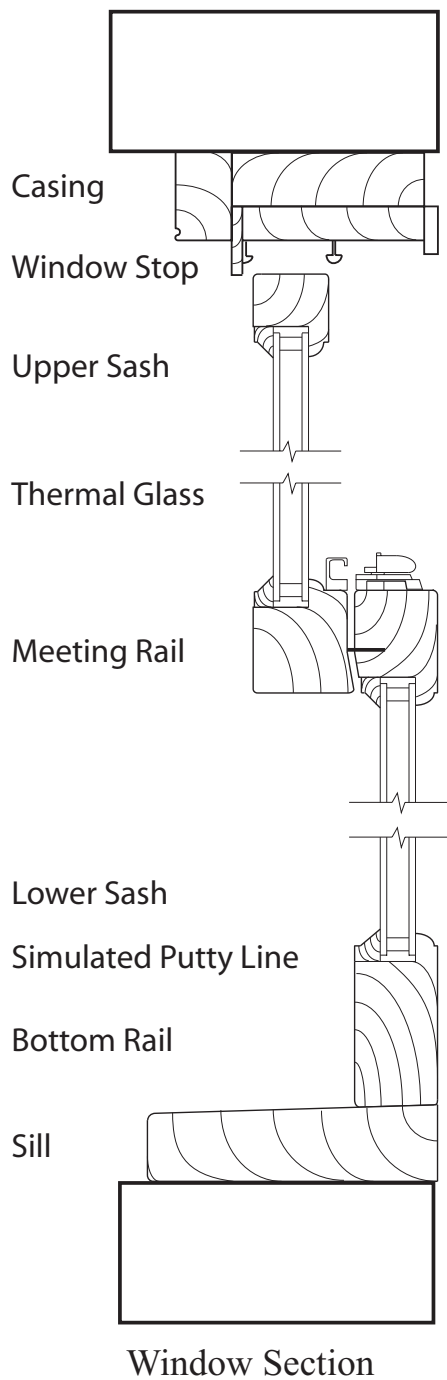
In buildings less than 30 years old, the replacement windows need not match the historic window in terms of materials. The finish, however, must match the finish of the original windows. On secondary facades, windows which are visible from a public thoroughfare need only match the historic windows in terms of configuration and finish.

Proposals for replacement windows which do not meet these conditions will require a Certificate of Appropriateness.

C. Storm Windows

The installation of exterior storm windows will be granted a Certificate of No Effect providing they meet the following conditions:

1. Exterior storm windows shall fit tightly within window openings without the need for a sub frame or panning around the perimeter.
2. The color of the frames of the storm windows shall match the color of the primary window frame.



3. Glazing shall be clear.

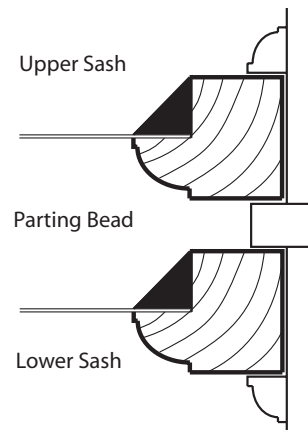
4. The storm sash shall be set as far back from the plane of the exterior wall surface as is practicable.

5. Muntins shall not be permitted.

6. Meeting rails may be used only in conjunction with double-hung windows and shall be placed in the same relative location as in the primary sash.

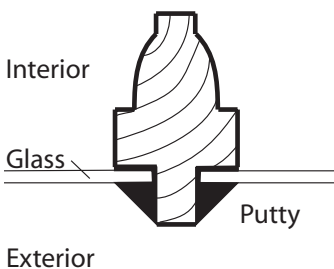
D. Supporting Documentation

Applications for replacement windows must include photographs and dimensioned drawings of the existing condition of the windows. In addition, manufacturers' catalogue cuts or full or half-scale drawings of the proposed windows with comparative dimensions, details of construction and configuration and color and finish samples are required. Proposals for a change in material shall include a material sample.

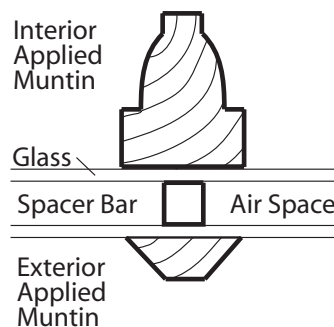


Vertical Mull Section

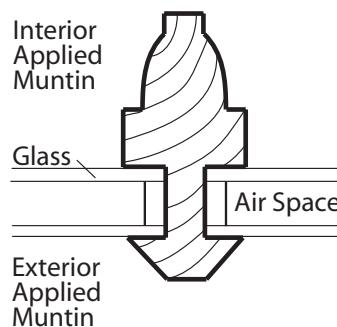
Authentic Divided Light



Simulated Divided Light



Actual Divided Light





IV. STOREFRONTS

A. Repair

Every effort should be made to retain and repair historic storefronts as well as significant surviving fragments of historic storefronts. While a non-original historic storefront may differ in style from the original building, it reflects the shifts in popular taste and documents the changes over time within a historic district and should be treated with sensitivity.

A Certificate of No Effect is required for ordinary repairs to existing storefronts, both historic and non-historic. This would include replacing deteriorated, damaged or missing features with matching components and painting or refinishing. Changes in the design or configuration of a historic storefront require a Certificate of Appropriateness.

B. Replacement

If replacement of a storefront is necessary, the design of the new storefront should reproduce the historic storefront in terms of its configuration, materials, placement, proportions and extent of glazed area. The design of the replacement storefront may be based on surviving historic storefronts elsewhere on the building or another identical building, or on documentary evidence such as original architectural drawings or old photographs.

In cases where the historic storefront has been replaced and there is no extant historic storefront elsewhere on the building, nor on another identical building, and no documentary evidence can be found, a contemporary design is permissible and should meet the following criteria:

1. It fits entirely and precisely within the existing storefront opening(s);
2. It incorporates any architecturally and/or historically significant surviving fragments of a historic storefront;
3. It is compatible with the original materials and colors of the upper floors; and
4. It includes traditional storefront elements (i.e., transoms, glass display windows, low bulkheads, recessed entrance, sign band) which are appropriate to the age and style of the building.

C. Signage (See Appendix A)

D. Awnings

Awnings are permitted on storefronts and should meet the following conditions:

1. The awning is a retractable type with a sloped profile (exception may be made for buildings less than 30 years old and non-historic storefronts);
2. The metal frame is covered with canvas fabric in a historically appropriate color and pattern for the building and the historic district;
3. Lettering on the awning is limited to the skirt; however, logos may be printed on the sloped portion of the awning;
4. The awning frame is attached to the building in such a way that it does not destroy or cause irreversible damage to significant architectural features;
5. The awning fits within the storefront opening and has the same shape as the opening.

E. Security Gates

Security gates should be installed in the interior of all storefronts and should be of the open-link variety. If new storefronts are to be installed,

or in cases where the historic storefront had external security gates, the gate tracks should be recessed into the glazing reveal and the gate housing should be flush with the plane of the storefront and should be contained within a plenum space above the storefront or behind a transom panel or signage panel. The gate's housing, tracks or mechanical boxes should not protrude from the plane of the storefront or be apparent. Exterior scissor-type gates are also acceptable.

Applications for open link interior security gates require a Certificate of No Effect. Applications for all other security gates require a Certificate of Appropriateness.

F. Supporting Documentation

Applications for replacement storefronts must include photographs of the existing storefront, to scale drawings of the proposed storefront, signage, awning and/or security gates (elevation, sections and full or half-scale details), and materials and color samples.

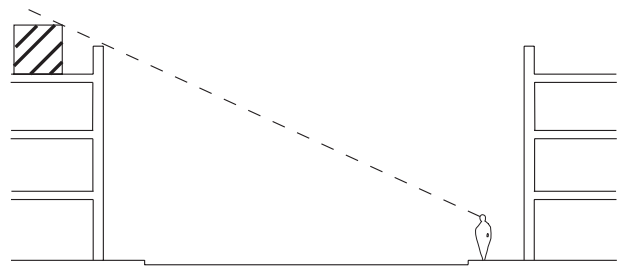
V. ADDITIONS

A. Rear Yard Additions

A. Certificate of No Effect will be granted applications for rear yard additions which meet the following criteria:

1. The proposed addition is not visible from a public thoroughfare or right-of-way.
2. The addition will not extend to the rear lot line, not substantially eliminate the presence of a rear yard.
3. Other rear yard incursions exist within the block.
4. The proposed work complies with the Historic Zoning District regulations and will not require a variance.
5. In buildings with rear cornices, corbel brickwork on the parapet, or other distinctive roof silhouettes, the rear addition does not rise to the full height of the building.
6. The existing rear facade will not be removed from the entire width of the building. Instead, existing openings will be modified to provide access into the addition. (This approach retains original building fabric and reduces structural intervention.)

Applications for rear yard additions which do not meet the above criteria will most likely require a Certificate of Appropriateness. For proposed additions which will be visible from a public thoroughfare or right-of-way, the Commission will consider the effect of the addition on any significant architectural features on the building's rear facade, and the scale and architectural character of the addition's facade in relation to the building's front facade.



Rooftop Addition Sightline Drawing

B. Rooftop Additions

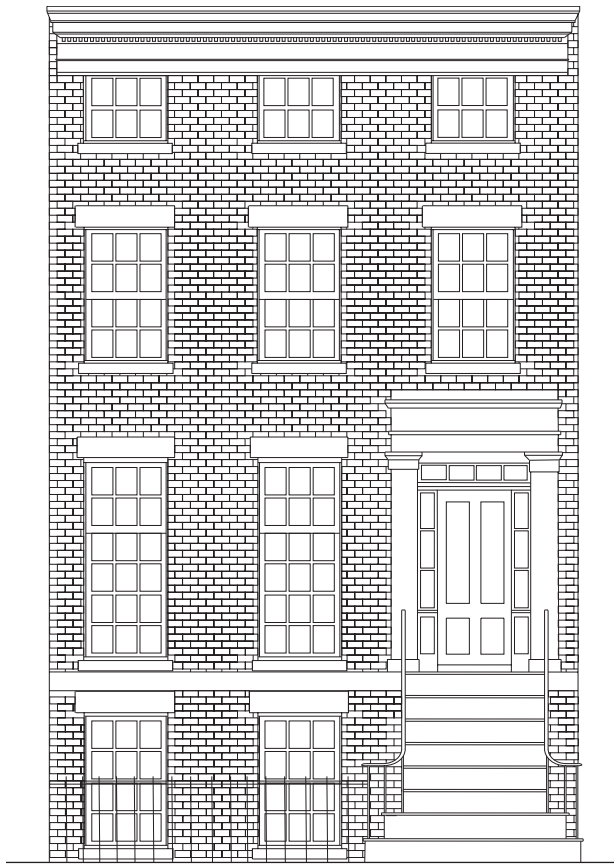
A. Certificate of No Effect will be granted for applications for rooftop additions which meet the following criteria:

1. The addition consists of mechanical equipment, egress or mechanical bulkheads or utilitarian skylights only; or the addition consists of living space and complies with the Historic Zoning District regulations.
2. The roof of the subject building is not a significant feature of its design.
3. The addition is not visible from a public thoroughfare or right-of-way.
4. If the building possesses a significant roof silhouette, the addition does not interrupt the roof or skyline.
5. The materials of the addition are in the nature of utilitarian rooftop accretions and are in keeping with the existing roofscape.
6. The addition does not adversely affect a significant ensemble of buildings by creating a distracting element in an otherwise uniform roofscape.

Applications for rooftop additions which do not meet the above criteria will most likely require a Certificate of Appropriateness.

C. Supporting Documentation

Applications for rear yard or rooftop additions must include photographs of the existing buildings (including rear facade for rear additions) individually and in the context of the neighborhood, to scale floor plans, elevations and sections of the building and addition, to-scale sight-line drawings for rooftop additions, a site plan of the entire block for rear yard additions, full or half-scale details of windows, doors and decorative trim, materials and color samples.



Greek Revival Facade

VI. RESTORATION

A. Certificate of No Effect will be granted for applications for the restoration of a building or building facade features (such as stoops, cornices, window and door openings and enframements) to their historic appearance when the following criteria are met:

1. The restoration would not cause the removal of non-original historic building fabric (i.e., Victorian Period features on an early 19th Century structure).
2. The restoration is based on documentation such as:
 - a) Physical evidence on the building;
 - b) Original drawings;
 - c) Old photographs;
 - d) An identical building.

3. The restored features match the texture, color, profiles, details and dimensions of the original features.

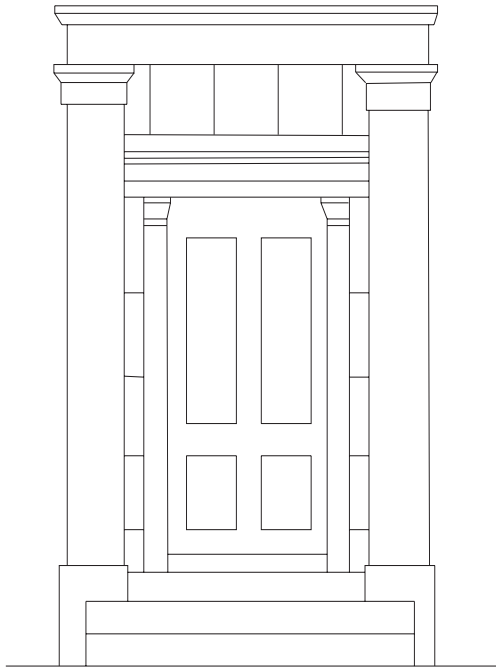
Restoration work which does not conform to the above criteria will require a Certificate of Appropriateness.

Supporting documentation for restoration work shall include photographs of the existing conditions, documentation upon which the restoration is based, and the materials and methods proposed by the contractor in the form of specifications, a contract, or a letter.

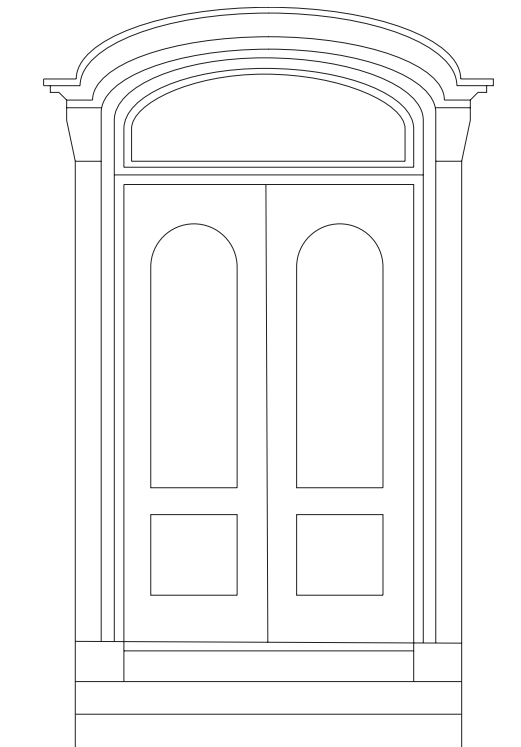
Applications for rooftop additions which do not meet the above criteria will most likely require a Certificate of Appropriateness.

C. Supporting Documentation

Applications for rear yard or rooftop additions must include photographs of the existing building (including rear facade for rear additions) individually and in the context of the neighborhood, to scale floor plans, elevations and sections of the building and addition, to-scale sight-line drawings for rooftop additions, a site plan of the entire block for rear yard additions, full or half-scale details of windows, doors and decorative trim, materials and color samples.



Greek Revival Style Entrance



Italianate Style Entrance

VII. EXTERIOR DOORS (PRIMARY FACADES)

A. Repair

Repair of historic doors including stripping, re-finishing, replacing deteriorated parts-in-kind, replacing hardware matching the original, and replacing glazing in-kind, requires a Certificate of No Effect.

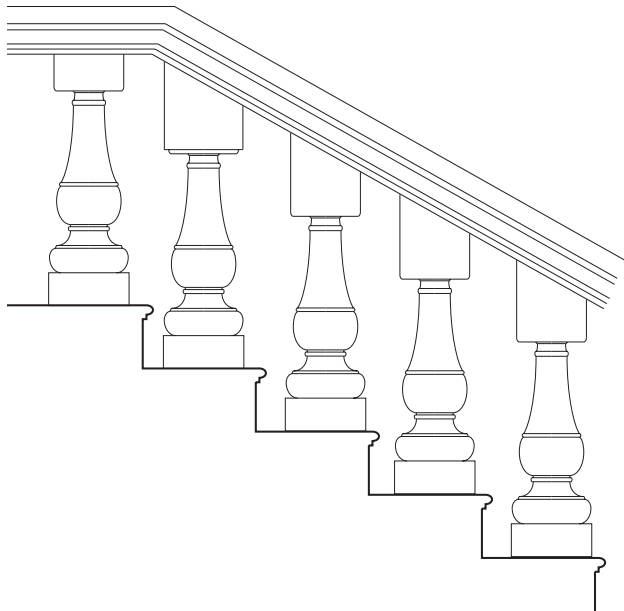
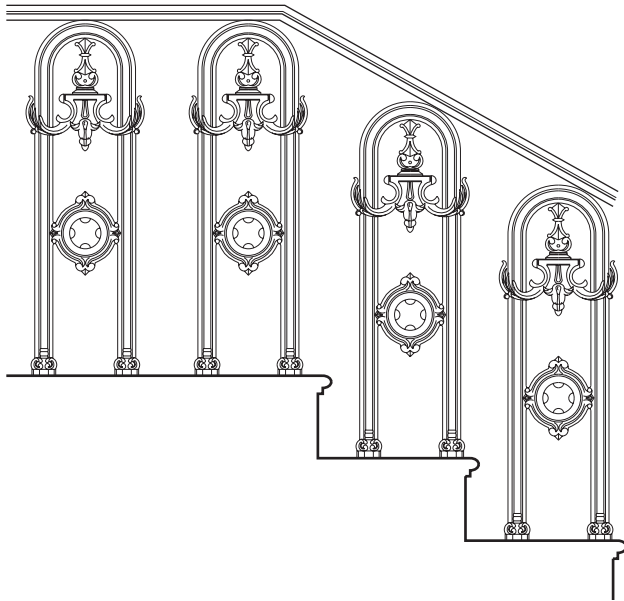
B. Replacement

Historic doors may not be removed, unless beyond repair. A Certificate of No Effect will be granted for replacing deteriorated historic doors or non-historic doors with new doors which match the historic doors. A Certificate of Appropriateness will be required for the following:

1. New doors which do not match the historic doors;
2. Enlarging or reducing the existing door opening;
3. Replacement doors of a different configuration than the historic doors;
4. Alterations to historic doors which significantly affect their appearance.

C. Supporting Documentation

Applications for replacement doors must include photographs of the building and the existing door showing deterioration, documentation of the historic doors if available, to scale drawings of the proposed doors within the opening (elevations and sections), and a finish sample.



Two types of Italianate Style Ironwork

VIII. IRONWORK

A. Fences and Railings

A Certificate of No Effect will be granted for the following:

1. Ordinary repairs to existing fences and railings
2. Replacement of missing, non-historic or severely deteriorated historic fences and railings providing that the new ironwork matches the historic ironwork based on documentation such as historic photographs, extant examples on identical buildings, or remnants of the historic ironwork.

A Certificate of Appropriateness is required for the following:

1. Replacement ironwork which does not match the historic fence and/or railing.
2. The installation of a fence or railing in a location which historically had no ironwork.
3. Alterations to or removal of historic fences and railings.

In instances where historic fences and/or railings have been removed or replaced and no documentation of the historic ironwork is available, the Commission recommends either a design which is stylistically compatible with the building or a simple contemporary design which is not intrusive to the special architectural and historic character of the building and the streetscape. Both alternatives require a Certificate of Appropriateness.

B. Window and Door Security Gates

A Certificate of No Effect will be granted for the installation of exterior window and/or door security gates providing they are existing features of the building and the proposed gates do not detract from the historic and architectural character of the building.

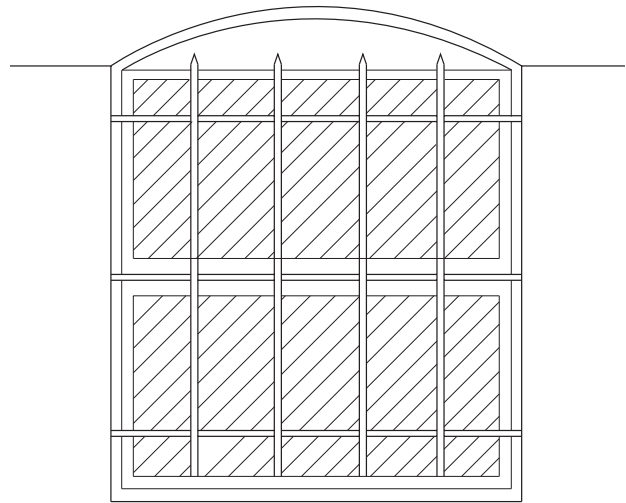
A Certificate of Appropriateness will be required for the installation of window and/or door security gates if none exist. The proposed gates should meet the following criteria:

1. A simple design.
2. Conform to the shape of the opening.
3. Be mounted within the opening.
4. Have no frame (window gate).

Exterior window gates are not permitted above the first floor on the front facade. Window gates which accommodate air conditioner units should have simple boxes or holes rather than more elaborate curved protrusions, unless the latter is appropriate to the building's architectural character.

C. Supporting Documentation

Applications for new ironwork must include photographs of the building, both present and historic, dimensioned drawings of the proposed ironwork (elevation and full or half-scale section), a site plan showing extent of ironwork (only for installations proposed in locations where no ironwork presently exists).



Window Security Gate

IX. A RESIDENTIAL AWNINGS

Awning installations on residential buildings require a Certificate of Appropriateness and should meet the following criteria:

1. The awnings are retractable;
2. The metal frame is covered with canvas fabric in a historically appropriate color and pattern for the building and the historic district;
3. The awnings fit within the window and/or door openings and have the same shape as the openings;
4. The awning frames are attached to the building in such a way that they do not destroy or cause irreversible damage to significant architectural features.

Supporting documentation for applications for residential awnings must include present and historic photographs of the building, to scale drawings (elevations and section) of the installation, and a material and color sample.

IX. B COMMERCIAL AWNINGS

The installation of a commercial awning requires a Certificate of Appropriateness and should meet the following criteria:

1. The metal frame is covered with canvas fabric in a historically appropriate color and pattern for the building and the historic district.



2. The awning frames are attached to the building in such a way that they do not destroy, conceal from view, or cause irreversible damage to significant architectural features.
3. The awning is an appropriate size for storefront.
4. The awning lettering should be limited to the name of the business and address. A brief description of the business may be acceptable.

Supporting documentation for applications for commercial awnings must include present and historic photographs of the building, to scale drawings of the installation including lettering and a material and color sample.



Siding Installations: (A) is properly designed and installed, (B) is not

X. IMITATION CLADDING

A. Vinyl and Aluminum Siding

The Commission discourages the use of vinyl or aluminum siding on historic buildings. These materials are not permitted on masonry buildings. On buildings which have existing vinyl or aluminum siding, individual units may be replaced with matching materials if necessary following the issuance of a Certificate of No Effect. On buildings with wood clapboard siding and/or shingles, the Commission encourages retention of the historic material or replacement with matching materials.

If an applicant chooses to apply for aluminum or vinyl siding, a Certificate of Appropriateness is required.

B. Imitation Facing

The Commission discourages the application of imitation stone or brick facings. On buildings which have existing imitation stone and brick facings, ordinary repairs and repainting may be performed following the issuance of a Certificate of No Effect. One exception is a re-facing of a severely deteriorated brownstone facade with a cementitious mix tinted to match the color of brownstone. Such work will be granted a Certificate of No Effect providing it meets the following criteria:

1. The existing brownstone surface is exfoliating, damaged or otherwise unsound (as documented in photographs).
2. The proposal calls for the replication of the original texture, color profiles and details.
3. The proposal calls for damaged stone to be cut back to sound stone and the new surface to be keyed into the sound stone and built up in successive layers using a cementitious mix with the top layer tinted and finished to match the original brownstone texture and color. In some cases, a sample patch may be requested for inspection and approval by the Historic Preservation Officer. The use of wire lath is prohibited.

XI. NEW WINDOW OPENINGS

A. Certificate of No Effect will be granted for new window openings when the following criteria are met:

1. The proposed window openings are located on a secondary facade.
2. The new window openings and sash retain the same shape, dimensions and configuration as the building's existing windows.
3. The new lintels and sills match the design, color, and texture of other window openings on the facade.
4. The locations of the new openings are consistent with the existing pattern of bays.
5. The new openings do not detract from any significant historic architectural features on the building.

Proposed new window openings which do not meet all of the above criteria will require a Certificate of Appropriateness.

Supporting documentation for applications for new window openings must include photographs of primary and secondary facades and scale elevation of the facade(s) indicating the proposed new openings.

XII. SIDEWALK REPAIR AND REPLACEMENT (REVISED)

A. Repairs of less than fifty percent of existing sidewalk

For repairs, the replacement units should be of like material and color to match the existing sidewalk. Intact blue stone paving must not be removed and discarded. Intact blue stone which has moved due to the thrust of tree roots or the freeze and thaw cycle and that presents a safety hazard to pedestrians, should be carefully removed and reset in sand, quarry, dust or dirt and butt jointed.

B. Replacement of more than fifty percent (50%) and New Sidewalks

In the case of stone paving such as blue stone, the replacement units should be of the same material, shape, and size as the existing stone paving and should be laid in the prevailing or historic pattern.

When the previous material is concrete, then blue stone or colored concrete must be used. Colored concrete after curing should be “Scofield Charcoal” or equivalent. The texture of the concrete may be made smooth with a wood float in order to create a texture more like blue stone, although a light broom finish, perpendicular to the curb is permitted for insurance purposes. The sidewalk should cure without fine finishing and lines should be scored without edging, saw cut joints are recommended.

XIII. APPLICATION PROCEDURE

A. Application Form

An application consists of a completed application form and supporting documentation. The application form must be signed by the owner of the property although the applicant may be the lessee or owner's agent. The application form and filing instructions are available at the Division of City Planning, 30 Montgomery St., Suite 1400, Jersey City, New Jersey, 07302, or by mail by calling (201) 547-5010.

B. Procedure

All applications received by the Historic Preservation Officer will be reviewed for completeness. The applicant will be notified if additional documentation is required. When the application is complete, the Historic Preservation Officer will review the proposal for conformance with these guidelines and either issue a Certificate of No Effect or refer the application to the Historic Preservation Commission for review at a Public Hearing. All applications which require review at a Public Hearing must be submitted and complete at least two weeks before the next scheduled hearing.

Upon approval, the Commission will issue a Certificate of Appropriateness. If the Commission denies the issuance of a Certificate of Appropriateness, the Commission shall state its reasons in writing to the applicant within ten (10) days of such decision. The applicant may appeal the decision to the Board of Adjustment within twenty (20) days after receipt of notification of such action.

XIV. GLOSSARY

The following definitions shall apply to the terms used in the text of the Guidelines.

Bulkhead: 1) A boxlike structure on the roof of a building covering a stairwell or mechanical equipment; 2) A low wall, sometimes paneled, beneath a storefront display window.

Configuration: Number, shape, organization and relationship of parts of windows, doors and storefronts including panes of glass, panels, sash, frame, muntins, mullions and transoms.

Cornice: Projecting ornamental molding along the top of a building, wall or storefront.

Finish: The visual characteristics, including color, texture and reflectivity of all exterior materials.

Muntins: In windows, doors and storefronts, framing members that subdivide a glazed area into individual panes, lights or panels.

Principal Facades: 1) A facade facing a street or a public thoroughfare; or 2) a facade that does not face a street or public thoroughfare, but that possesses architectural features which contribute to the special historic, cultural and aesthetic character of the building or the historic district.

Sash: The part of a window which holds the glazing in place. A sash may be operable or fixed, and may be subdivided with muntins.

Secondary Facade: A facade that does not face a street or a public thoroughfare and that does

not possess significant architectural features.

Transom: A small window above a door or other window.

APPENDIX A

SIGNS AND BILLBOARDS

Historic Preservation Ordinance- Section 017

1. General Provisions

All signage within a historic district or on a landmark shall conform to all City codes and shall require a Certificate of Appropriateness before issuance of a building permit. Any sign hereafter erected, displayed or repaired (more than 50% of replacement) within a historic district or on a landmark shall conform to the provisions of this article and any other ordinance or regulation of the City of Jersey City.

All signage shall reflect the historic character of the area of the proposed sign placement and will respect the size, scale and mass of the facade, building height and rhythms and sizes of windows and door opening.

Billboards, junior billboards, and large mechanical portable signs shall not be permitted within historic districts or on historic landmarks. Other signs which shall not be permitted are:

- a) Any sign placed upon a building, structure, object or site in any manner which disfigures, damages or conceals any window opening, door or significant architectural feature/detail of any building;
- b) Any sign which is not directly identified or associated with a permitted use in a specific district or landmark;

- c) Any sign which is abandoned for more than six (6) months or damaged beyond fifty percent (50%) of its replacement value;

- d) Any attachment to an already affixed sign which does not meet the provisions of the City Code;

- e) Any roof-mounted signs, except in the case of landmark signs.

Signs shall comply with the following regulations:

- a) No sign shall be placed in such a position that it will cause danger to traffic on a street by obscuring the view.

- b) No sign other than official traffic signs shall be erected within or shall project over the lines of any street right-of-way unless specifically authorized.

- c) No sign shall be back-lighted within the historic districts. No signs shall be lighted with flashing lights.

- d) In addition to the other requirements of this article, every sign referred to in this article must be constructed of durable materials, must be kept in good condition and repair, and shall not be allowed to become dilapidated.

If a sign is found in violation of this article, the Zoning Officer shall notify the sign's owner, operator or lessee of said violation; three (3) days after notification the Zoning Officer/Administrative Officer shall file an action in Municipal Court if the violation is not corrected.

Hanging signs are permitted in the historic districts subject to the following restrictions:

a) The maximum projection of hanging signs from the building surface shall not exceed four (4) feet. In no event shall any sign extend over the public right-of-way.

b) The support of such signs shall be of materials in keeping with the historic character of the district.

c) The size of such signs shall be in proportion to the building facade which it is displayed, but in no event shall the size of the sign exceed eight (8) square feet.

d) The face of the sign shall represent the name of the firm, store or establishment or represent the craft, guild or profession practiced therein.

e) The minimum distance between the ground and the bottom of such signs shall be eight (8) feet.

f) Hanging signs shall not be allowed in non-commercial areas as defined in the Historic Zoning Districts (see Section B-4 pages 46-50).

2. Signs - Residential Building - Permitted

a) A nameplate sign situated within the property lines and bearing only the name and address of the principal occupants, or home occupation/professional office provided that the sign does not exceed twenty-four (24) square inches in total area.

b) One "For Sale" or "For Rent" sign erected on the property to be sold or rented, but not to be placed on any tree, not to exceed four (4) feet in area.

3. Signs - Mixed Use/Commercial Buildings - Permitted

The following, in addition to 17B, 1 and 2 above, shall apply:

a) Wall signs are permitted on each building wall that faces on a street subject to the following limitations and requirements:

1) Not more than one wall sign shall be permitted for each business establishment or use located in the building except for corner buildings which will be allowed one minor sign not to exceed six (6) square feet.

2) No such sign shall extend farther than six (6) inches from the face of building wall to which it is attached.

3) The height of any sign shall not exceed three (3) feet or twenty percent (20%) of the height of the building wall to which it is attached, whichever is the lesser.

4) The total of the widths of all such signs may be equal to the building wall to which they are attached.

APPENDIX B

STANDARDS FOR NEW CONSTRUCTION

Historic Preservation Ordinance - Section 012.8
JCLDO 345.71-H

In considering whether to approve or disapprove an application for a permit for new construction in a historic district, the Commission shall be guided by standards of the Secretary of the Interior and the following compatibility standards.

New construction need not replicate historic older buildings or structures, but may reflect contemporary design standards so long as the design and construction is compatible with surrounding historic structures. Building height, width, mass and proportion affect the degree of compatibility between the old and the new.

1. **Site and Setting:** A developer intending to utilize a historic resource as a part of a development must consider the context of the resource's original site by honoring the original historic intention of said resource and integrating it respectfully into the new development.

2. **Building Height:** Height should be visually compatible with adjacent buildings. The apparent physical size, scale and height should relate to existing resources.

3. **Opening on Frontal Facades:** The width and height of windows, doors, and entries of buildings and structures of historic significance in the surrounding environment.

4. **Relationship of Unbroken Planes to Voids (i.e., Punctured Planes) in Front Facades:** The relationship of unbroken planes (i.e., walls) to voids (i.e., windows and doors) on the facade of a building or structure should be aesthetically harmonious with that of buildings and structures of historic significance in the surrounding environment.

5. **Relationship of Vacant Land to Buildings/ Structures:** The relationship of a building or structure to the vacant land between adjoining buildings or structures should not violate the existing paradigmatic spatial relationship of historically significant structures to the vacant land between said structures and adjoining buildings. The building mass in large architectural projects can be varied in form by using setbacks to create open spaces and landscaping when desirable to provide harmonious visual transitions between new construction and the adjacent historic properties.

6. **Relationship of Exterior Projections to the Street:** The relationship of exterior projections to the street in new construction should be aesthetically harmonious with the relationship of exterior projections to the street in the surrounding existing buildings of historic significance.

7. **Relationship of Major Exterior Building Materials:** The major exterior building materials on the facade of a building or on a structure should reflect the predominant major building materials existent on the facades of historically significant buildings and on structures in the surrounding environment.

8. Roof Forms: The roof form and slope of a building or structure is a major element in the visual image of the building. Therefore, designers must take care to honor paradigmatically in new construction, the existing historic roof forms and slopes so as not to violate the aesthetic harmony of the whole.

9. Continuity in Visual Imagery of Appurtenances: Appurtenances of a building or structure such as walls, fences and landscaping shall honor the relationship of appurtenances to buildings of historic significance in the surrounding environment.

10. Scale of Buildings: Scale of buildings and structures shall be in scale with the buildings and structures of historic significance.

11. Signage: Signs which are out of keeping with the character of the environment in question should not be used. Excessive size and inappropriate placement on buildings results in visual clutter.

A good sign should be designed to relate harmoniously to exterior building materials and colors. A good sign should express a simple clear message with wording kept to a minimum.

12. Site Planning: The site planning of landscaping, parking facilities, utility and service areas, walkways, and appurtenances must reflect the site planning of landscaping, parking facilities, utility and service areas, walkways and landscape features reticulate to buildings or structures of historic significance.

Jersey City Land Development Ordinance Application Requirements, Development Procedures & Checklists

H. Historic District Checklist

CASE #: _____

DATE: _____

PROPERTY ADDRESS: _____

APPLICANT: _____

OWNER: _____

SUBMITTED

Paper Documentation

YES NO N/A WAIVER
Requested

REMARKS
(FOR STAFF USE ONLY)

1. Completed application form.					
2. Fee.					
3. Signed and sealed architectural drawings, if applicable, with colors and materials clearly noted. (13 sets for COA hearing, otherwise one)					
4. Appropriate sketches indicating all proposed materials & colors, if architect's drawing not required. (13 sets for COA hearing, otherwise one)					
5. All materials & color specifications, including, but not limited to, applicable catalog cuts, detailed drawings or photo, sample paint chips, brick & mortar samples.					
6. Current photo of existing façade(s) exposed to public view.					
7. Copy of Tax Assessor's 1938 photo, if not already in file.					
8. Detailed description of proposed work.					
9. Form of notice. (to be posted at property ten days prior to hearing for certificate of appropriateness)					

*If a waiver is requested, please supply detailed reasons for the request. Attach additional sheets if necessary.

COMMENTS

SITE VISITATIONS
NOTICE TO APPLICANT

Please be advised that Historic Preservation Commission members may visit the exterior of your property and the neighboring area prior to the date scheduled for your hearing. Any information obtained from such visit will be made part of the record at hearing and you will have a chance to respond thereto at the hearing.

NOTICE OF PUBLIC HEARING

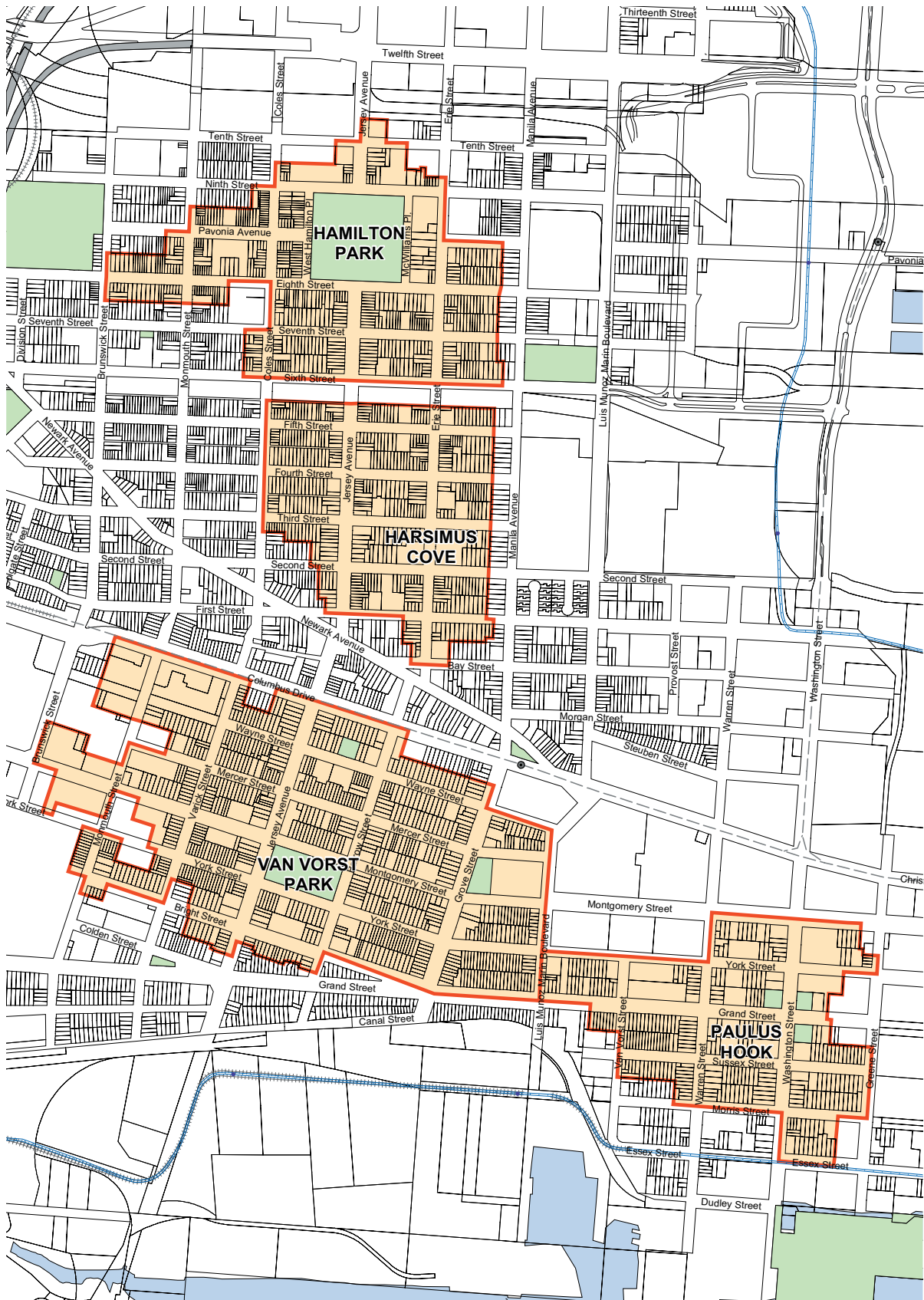
PLEASE BE ADVISED THAT A HEARING CONCERNING AN APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK AT

WILL BE HELD BEFORE THE JERSEY CITY HISTORIC PRESERVATION COMMISSION ON MONDAY,

AT 6:30 PM IN ANNA CUCCI MEMORIAL COUNCIL CHAMBERS, CITY HALL, 280 GROVE ST., JERSEY CITY, N.J..

ANY MEMBER OF THE PUBLIC WISHING TO ADDRESS THE COMMISSION REGARDING THE APPLICATION MAY DO SO AT THAT TIME.


A COPY OF THE APPLICATION ALONG WITH SUBMITTED PLANS & MATERIALS IS AVAILABLE FOR REVIEW AT THE DIVISION OF CITY PLANNING, 30 MONTGOMERY STREET, SUITE 1400, MONDAY THROUGH FRIDAY, FROM 8:30 AM TO 4PM.



CITY OF JERSEY CITY

DOWNTOWN HISTORIC DISTRICTS

Legend

 Historic Districts



DIVISION OF CITY PLANNING
APRIL 05, 2005

